

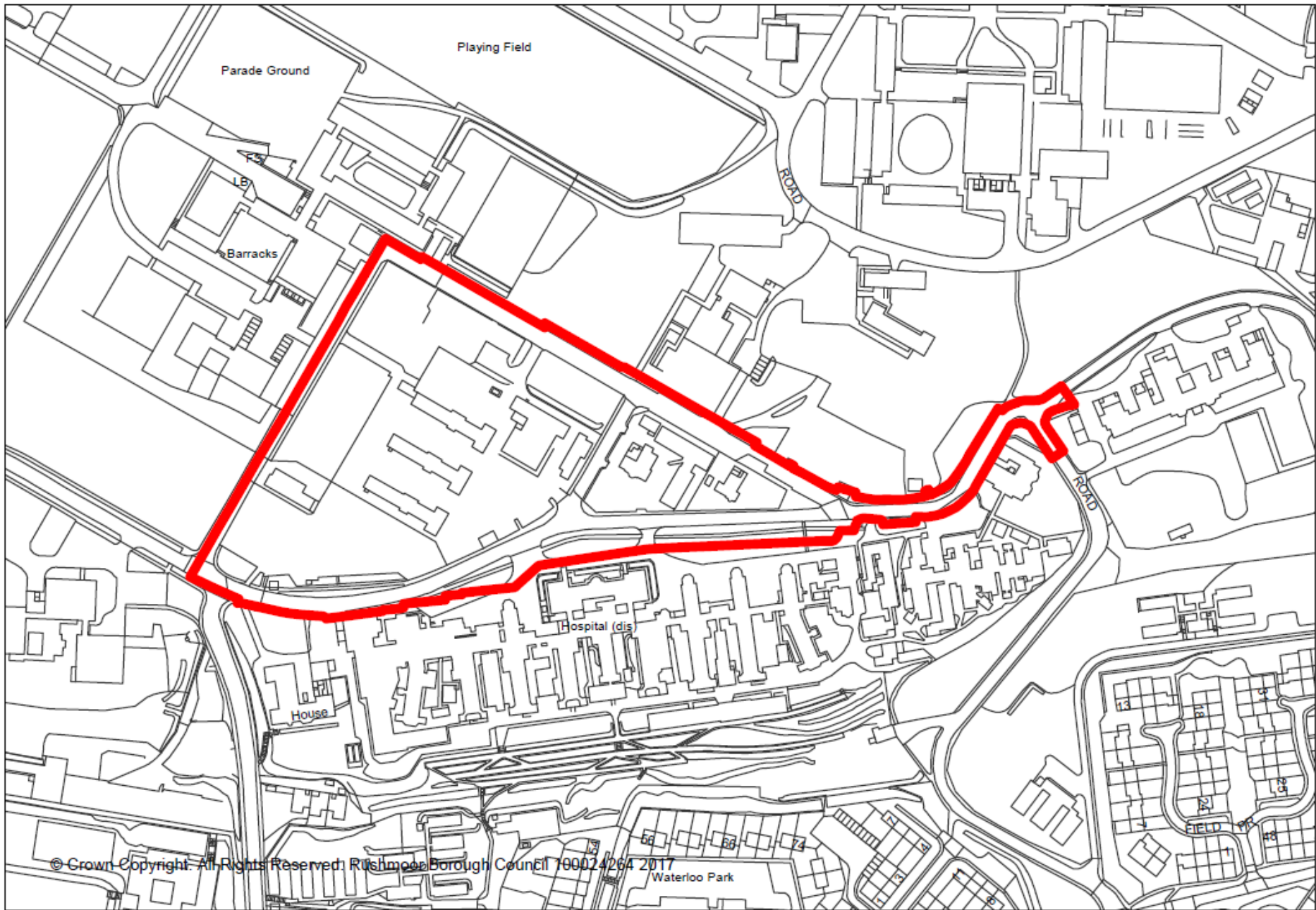
Development Management Committee

8th November 2017

Development Management Committee

**Items 8 & 9: 17/00494/REMPP
17/00495/LBC2PP**

**Zone D – McGrigor, Aldershot Urban
Extension**





© Crown Copyright. All Rights Reserved. Rushmoor Borough Council 100024264 2017

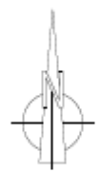
Waterloo Park

This drawing is the copyright of Thorne Ltd. All rights reserved.
 Ordnance Survey Data © Crown Copyright. All rights reserved.
 (License No. 100027165). DO NOT scale from this drawing.
 Contractors, Sub-Contractors and Suppliers are to check all relevant
 dimensions and levels of the site and building before commencing
 any site levelling or building work. Any discrepancies should be
 reported to the Architects.
 Where applicable this drawing is to be read in conjunction with the
 Consideration Agreement.

REV	DESCRIPTION	DATE	BY	CHECKED
A	Planning Issue	10/01/15	MK	
B	Consented buildings to be demolished. Original demolition planning	10/01/15	MK	

KEY

- PROPOSED PERIMETER
- EXISTING BUILDING
- EXISTING BUILDING TO BE DEMOLISHED
- EXISTING BUILDING TO BE DEMOLISHED



SCALE 1:500
 PROPORTION



PLANNING



Building 101, The Grange, Ramsey Road, Histon, Cambs, CB4 0AF
 T: 01223 207110 F: 01223 207114 www.thrivearchitects.co.uk

PROJECT
 Wellesley
 McGrigor Zone, Aldershot
 For: Granger PLC

DESCRIPTION
 Existing Buildings to be Retained
 and Demolished Plan

SCALE	DATE	AUTHOR/CHKD
1:500 @ A1	10/12/15	MK
DWG NO.	QUANTITY NO.	REV
GRAIN151116	EB.01	B
CLIENT NO.		

NOTES

This drawing is the copyright of Thrive Ltd. All rights reserved.
 Database Survey Data © Crown Copyright. All rights reserved.
 License No: 100007198. OS 2007 vector from this drawing.
 Contractors, Sub Contractors and Suppliers are to check all relevant
 dimensions and levels of the site and building before commencing
 any site drainage or building work. Any discrepancies should be
 reported to the Architect.
 Where applicable this drawing is to be read in conjunction with the
 Contractor's drawings.

NO.	DESCRIPTION	DATE	AUTHOR	REVISION
A	Issued for Planning	22/02/17	MB	
B	Buildings indicated to be removed that have already been demolished or are to be demolished. Additional 1.7m compliant parking spaces added.	20/02/17	MB	

APPROVED RESERVED MATTERS APPLICATION (MAIDA ZONE)

KEY:

- Refuse
- Fertiliser
- Boundary Wall
- Available for Demolition
- Available for Demolition
- To be Demolished

FOR CONTINUATION - SEE INSET BELOW

- Category A Tree Retained
- Category B Tree Retained
- Category C Tree Retained
- Category D Tree Retained
- High Potential Tree (HTP)
- Proposed Tree to be removed (category A-D) and High Potential Tree (HTP)
- Proposed Tree to be retained (category A-D)
- All Other Features
- Other Live Includes Buildings Demolished
- Cycle-Track
- Landscaping or other
- Trees to be retained

Scale 1:500

INSET - CONTINUED FROM ABOVE

PLANNING



thrive.
architects

Rushmoor Office
 Building 202, The Garage, Rushmoor Road, Rushmoor, RG21 6JH
 T: 01753 847022 F: 01753 862276 www.thrivearchitects.co.uk

PROJECT
 Wellesley
 McGrigor Zone, Aldershot
 For: Grainger PLC

DRAWING
 Coloured Site Layout

SCALE
 1:500 @ A1

DATE
 02/02/16

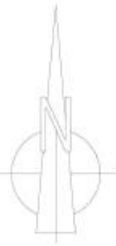
AUTHOR/DAWG
 MB

DATE
 22/02/17

DESIGNER NO.
 GRAIN151116 CSL01

REV
 B

CLIENT REF.





Shaef's House CMH Cambridge House Existing Barracks Maida



Hope Grant's Road







Street Elevation 10.10
Scale 1:100

A1

APPROVED RESERVED MATTERS APPLICATION (MAIDA ZONE)

NOTES
 This drawing is the copyright of Thrive Ltd. G. All rights reserved.
 Database Survey Data © Crown Copyright. All rights reserved.
 License No: 100007198. OS 2007 vector from this drawing.
 Contractors, Sub Contractors and Suppliers are to check all relevant dimensions and levels of the site and building before commencing any site drainage or building work. Any discrepancies should be reported to the Architect.
 Where applicable this drawing is to be read in conjunction with the Contracted drawings.

REV	DESCRIPTION	DATE	AUTHOR	CHECKED
A	Issued for Planning	22/02/16	MB	
B	Buildings indicated to be retained that have already been defined on the existing approved LTR compliant parking approval sheet	26/02/16	MB	

KEY:

- Retain
- Existing Use
- Existing Parking
- Affordable Homes
- Affordable Rent
- De-Design

- Category A Use Retained
- Category B Use Retained
- Category C Use Retained
- Category D Use Retained
- Hard/Plastic Area (20%)
- Proposed Use Block (existing/ proposed/ retained)
- Proposed Planning to be retained/ proposed/ retained
- All Other (existing)
- Call of Use (existing/ proposed/ retained)
- Cycle-Track
- Landscaping/No of change
- Trees Retained

FOR CONTINUATION - SEE INSET BELOW

Scale 1:500

INSET - CONTINUED FROM ABOVE

PLANNING



Survey Office

Building 101, The Garage, Ramsey Road, Rishborough, SO24 5JF
 T: 01793 887022 F: 01793 987076 www.thrive-architects.co.uk

PROJECT:
 Wellesley
 McGrigor Zone, Aldershot
 For: Grainger PLC

DRAWING:
 Coloured Site Layout

SCALE:
 1:500 @ A1

DATE:
 02/02/16

AUTHOR/DRAWN:
 MB

DATE:
 26/02/16

PROJECT NO.:
 GRAIN151116

CLIENT REF.:
 CSL.01

REV:
 B





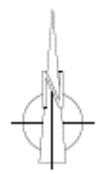


This drawing is the copyright of Thorne Ltd. All rights reserved.
 Ordnance Survey Data © Crown Copyright. All rights reserved.
 (License No. 100027165). DO NOT scale from this drawing.
 Contractors, Sub-Contractors and Suppliers are to check all relevant
 dimensions and levels of the site and building before commencing
 any site levelling or building work. Any discrepancies should be
 reported to the Architects.
 Where applicable this drawing is to be read in conjunction with the
 Consideration Agreement.

REV	DESCRIPTION	DATE	BY	CHECKED
A	Planning Issue	10/01/15	MK	
B	Consented buildings to be demolished. General demolition proposed.	10/01/15	MK	

KEY

- PROPOSED BOUNDARY
- EXISTING BUILDING
- EXISTING BUILDING TO BE DEMOLISHED
- EXISTING BUILDING TO BE DEMOLISHED



SCALE 1:500
 PROPORTION



PLANNING



Building 801, The Grange, Gosney Road, Histon, Cambs, CB3 0JF
 T: 01223 207110 F: 01223 207114 www.thrivearchitects.co.uk

PROJECT
 Wellesley
 McGrigor Zone, Aldershot
 For: Granger PLC

DESCRIPTION
 Existing Buildings to be Retained
 and Demolished Plan

SCALE	DATE	AUTHOR/CHKD
1:500 @ A1	10/12/15	MK
DWG NO.	QUANTITY NO.	REV
GRAIN151116	EB.01	B
CLIENT NO.		



Cambridge House South West Elevation (Front)

Note:
 -All proposed headers to match existing
 -All new windows to match existing (re-used where possible)
 -All stone cills match existing (re-use where possible)

NOTES
 This drawing is the copyright of Thrive Ltd ©. All rights reserved. Ordnance Survey Data © Crown Copyright. All rights reserved. License No. 100007329. DO NOT scale from this drawing. Contractors, Sub Contractors and Suppliers are to check all relevant dimensions and levels of the site and building before commencing any shop drawings or building work. Any discrepancies should be recorded to the Architect.
 Where applicable this drawing is to be read in conjunction with the Consultant's drawings.

REV	DESCRIPTION	DATE	AUTH	CHECK
A	Issue for Planning	22.02.17	NC	
B	Updated to Planner's comment	13.10.17	BC	



PLANNING



architects

Romsey Office

Building 205, The Grange, Romsey Road, Highclere, SO51 6AF
 T: 01794 367203 F: 01794 367276 www.thrivearchitects.co.uk

PROJECT
 Wellesley
 McGrigor Zone, Aldershot
 For: Grainger PLC

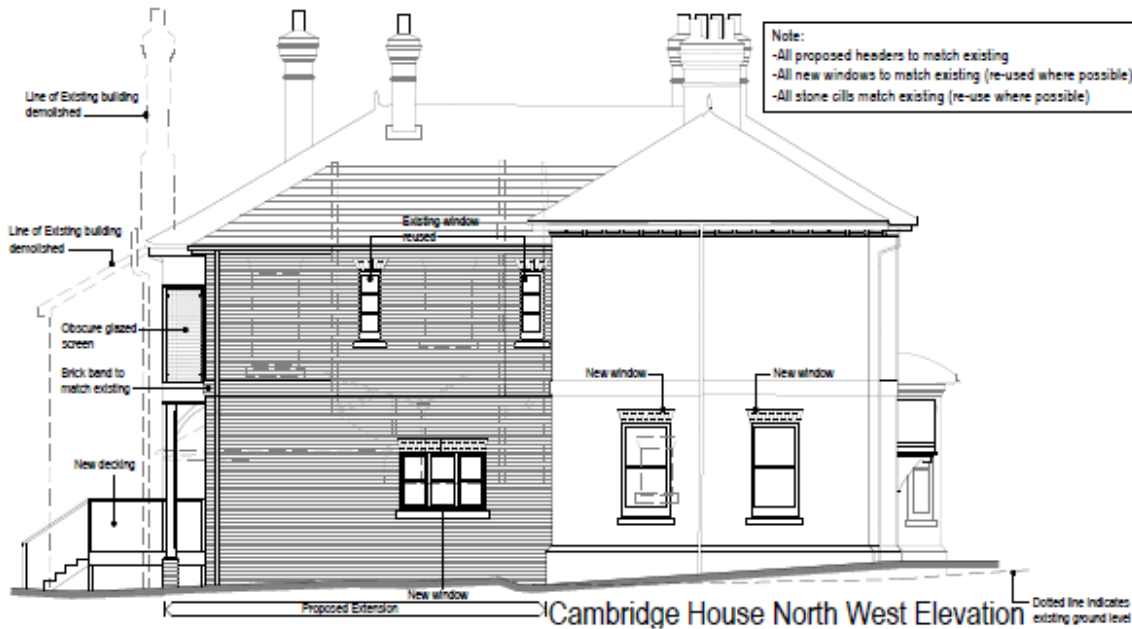
DRAWING
 Cambridge House - Proposed (17A)
 Plots 7 & 8
 Elevations (Sheet 1 of 2)

SCALE	DATE	AUTHOR	CHECK
1:100	May 2016	NC	
JOB NO.	DRAWING NO.	REV	
GRAIN151116	P.7-8.Pro.e1	B	
CLIENT REF.			

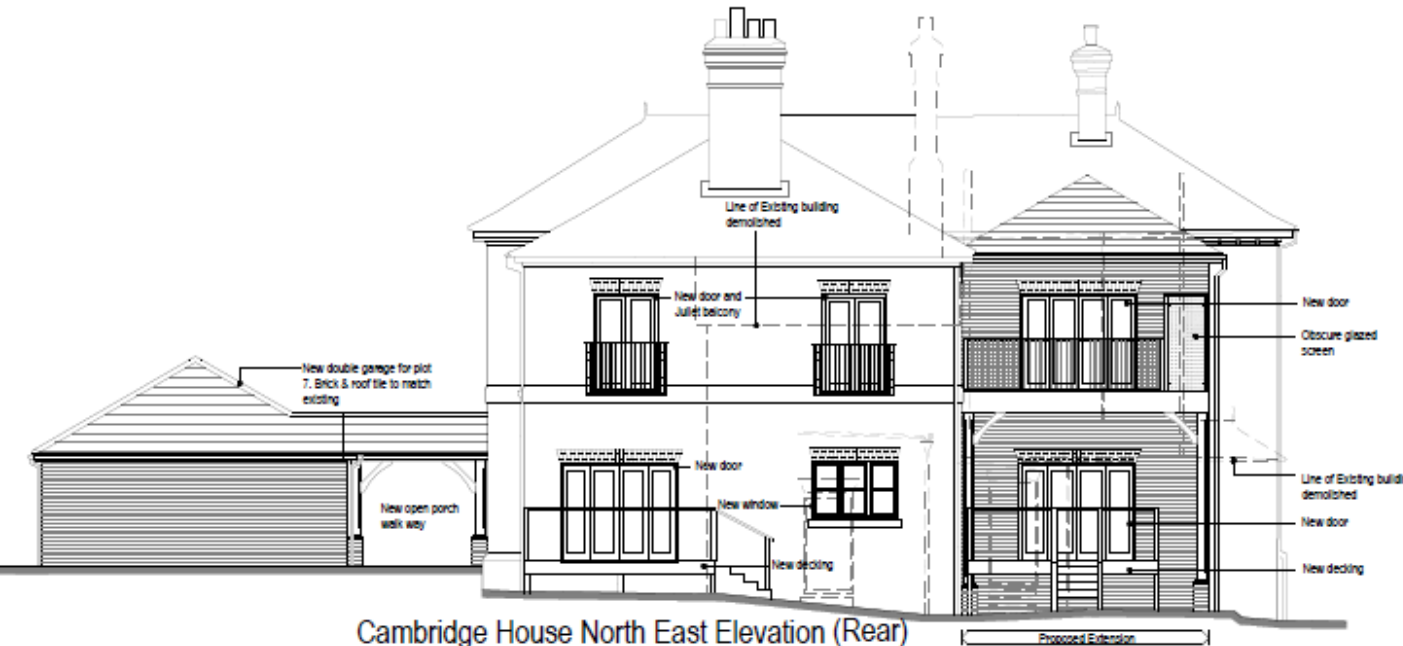


Cambridge South East Elevation (Side)

Dotted line indicates existing ground level



Cambridge House North West Elevation



Cambridge House North East Elevation (Rear)

Note:
 -All proposed headers to match existing
 -All new windows to match existing (re-used where possible)
 -All stone cills match existing (re-use where possible)

NOTES
 This drawing is the copyright of Thrive Ltd ©. All rights reserved.
 Ordnance Survey Data © Crown Copyright. All rights reserved.
 Licence No. 100007359. DO NOT scale from this drawing.
 Contractors, Sub Contractors and Suppliers are to check all relevant dimensions and levels of the site and building before commencing any shop drawings or building work. Any discrepancies should be recorded to the Architect.
 Where applicable this drawing is to be read in conjunction with the Consultant drawings.

REV	DESCRIPTION	DATE	AUTH	CHKD
A	Issue for Planning	23.02.17	NC	
B	Updated to Planner's comment	12.10.17	NC	



PLANNING



architects
 Romsey Office

Building 305, The Grange, Romsey Road, Michelmersh, SO51 9AE
 t: 01794 367703 f: 01794 367236 www.thrivearchitects.co.uk

PROJECT
 Wellesley
 McGrigor Zone, Aldershot
 For: Grainger PLC

DRAWING
 Cambridge House - Proposed (17A)
 Plots 7 & 8
 Elevations (Sheet 2 of 2)

SCALE: 1:100 @ A3 DATE: May 2016 AUTHOR: NC

JOB NO.: GRAIN151116 DRAWING NO.: P.7-8.Pro.e2 REV: B

CLIENT REF:

Note:

- All proposed headers to match existing
- All new windows to match existing (re-use where possible)
- All stone cills match existing (re-use where possible)

NOTES

This drawing is the copyright of Thrive Ltd ©. All rights reserved.
 Ordnance Survey Data © Crown Copyright. All rights reserved.
 Licence No. 100007359. DO NOT scale from this drawing.
 Contractors, Sub-Contractors and Suppliers are to check all relevant
 dimensions and levels of the site and building before commencing
 any shop drawings or building work. Any discrepancies should be
 recorded to the Architect.
 Where applicable this drawing is to be read in conjunction with the
 Consultant's drawings.

REV	DESCRIPTION	DATE	AUTH	CHKD
A	Issued for Planning	21.08.17	EC	




Front Elevation



Side Elevation

KEY:

 Existing walls to be removed

scale 1:100



PLANNING



architects

Romsey Office

Building 305, The Grange, Romsey Road, Michelmersh, SO51 0AE
 T: 01794 367703 F: 01794 367276 www.thrivearchitects.co.uk

PROJECT

Wellesley

McGrigor Zone, Aldershot

For: Grainger PLC

DRAWING

Saint Michaels House (18A)

Proposed (Plot 1)

Elevation 1 of 2

SCALE	DATE	AUTHOR	CHKD
1:100	Aug 2017	EC	
JOB NO.	DRAWING NO.	REV	
GRAIN151116	P.1.Pro.e1	A	
CLIENT REF.			


Note:
 -All proposed headers to match existing
 -All new windows to match existing (re-used where possible)
 -All stone cills match existing (re-use where possible)

NOTES
 This drawing is the copyright of Thrive Ltd ©. All rights reserved.
 Entrance Survey Data © Crown Copyright. All rights reserved.
 Licence No. 100007259. DO NOT scale from this drawing.
 Contractors, Sub Contractors and Suppliers are to check all relevant
 dimensions and levels of the site and building before commencing
 any shop drawings or building work. Any discrepancies should be
 recorded to the Architect.
 Where applicable this drawing is to be read in conjunction with the
 Consultant's drawings.

REV	DESCRIPTION	DATE	AUTH	CHECK
A	Issued for Planning	21.08.17	EC	



Rear Elevation

KEY:
 Existing walls to be removed



Side Elevation

PLANNING



architects
 Romsey Office

Building 306, The Grange, Romsey Road, Michelmersh, SO51 9AE
 T: 01794 367703 F: 01794 367276 www.thrivearchitects.co.uk

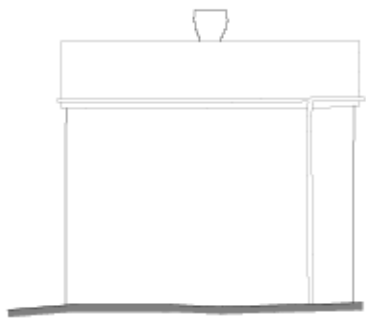
PROJECT
 Wellesley
 McGrigor Zone, Aldershot
 For: Grainger PLC

DRAWING
 Saint Michaels House (18A)
 Proposed (Plot 1)
 Elevation 2 of 2

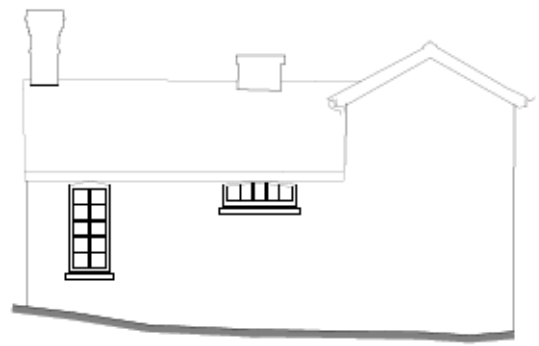
SCALE	DATE	AUTHOR	CHECK
1:100 @ A3	Aug 2017	EC	

JOB NO.	DRAWING NO.	REV
GRAIN151116	P.1.Pro.e2	A

CLIENT REF.



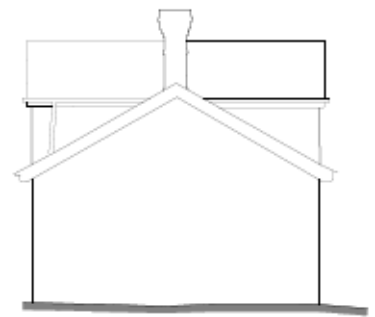
Stables North West Elevation



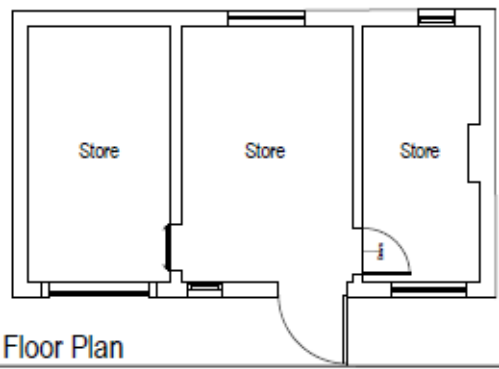
Stables North East Elevation



Stables South West Elevation



Stables South East Elevation



Floor Plan

NOTES
 This drawing is the copyright of Thrive Ltd ©. All rights reserved.
 Ordnance Survey Data © Crown Copyright. All rights reserved.
 Licence No. 100007359. DO NOT scale from this drawing.
 Contractors, Sub Contractors and Suppliers are to check all relevant
 dimensions and levels of the site and building before commencing
 any shop drawings or building work. Any discrepancies should be
 recorded to the Architect.
 Where applicable this drawing is to be read in conjunction with the
 Consultants' drawings.

REV	DESCRIPTION	DATE	AUTH	CHKD
A	Issue for Planning	04.09.17		MK



PLANNING



thrive.
architects

Romsey Office

Building 300, The Grange, Romsey Road, Michelmarsh, SO51 0AE
 t: 01794 367203 f: 01794 367236 www.thrivearchitects.co.uk

PROJECT
 Wellesley
 McGrigor Zone, Aldershot
 For: Grainger PLC

DRAWING
 Stable Block - Building 17B - Existing
 Floor Plans & Elevation

SCALE	DATE	AUTHOR	CHKD
1:100 @ A3	Sept 17	MK	

JOB NO.	DRAWING NO.	REV
GRAIN151116	SB.pe	A

CLIENT REF.



Front Elevation



Side Elevation



Rear Elevation



Side Elevation

PLOT No.
As Drawn - 6

NOTES

This drawing is the copyright of Thrive Ltd ©. All rights reserved.
Ordnance Survey Data © Crown Copyright. All rights reserved.
Licence No. 100007355. DO NOT scale from this drawing.
Contractors, Sub Contractors and Suppliers are to check all relevant dimensions and levels of the site and building before commencing any shop drawings or building work. Any discrepancies should be recorded to the Architect.
Where applicable this drawing is to be read in conjunction with the Consultant's drawings.

REV	DESCRIPTION	DATE	AUTH	CHKD
A	Issue for Planning	22.02.17	NC	

scale 1:100



PLANNING



architects
Romsey Office

Building 360, The Grange, Romsey Road, Midwimwick, SO51 9AF
t: 01794 367703 f: 01794 367726 www.thrivearchitects.co.uk

PROJECT

Wellesley
McGrigor Zone Aldershot
For: Grainger PLC

DRAWING

House Type 3B.5
Elevations

SCALE	DATE	AUTHOR	CHKD
1:100 @ A3	March 2016	SJF/YC/MK	

JOB NO.	DRAWING NO.	REV
GRAIN151116	HT.3B.5.e	A

CLIENT REF.

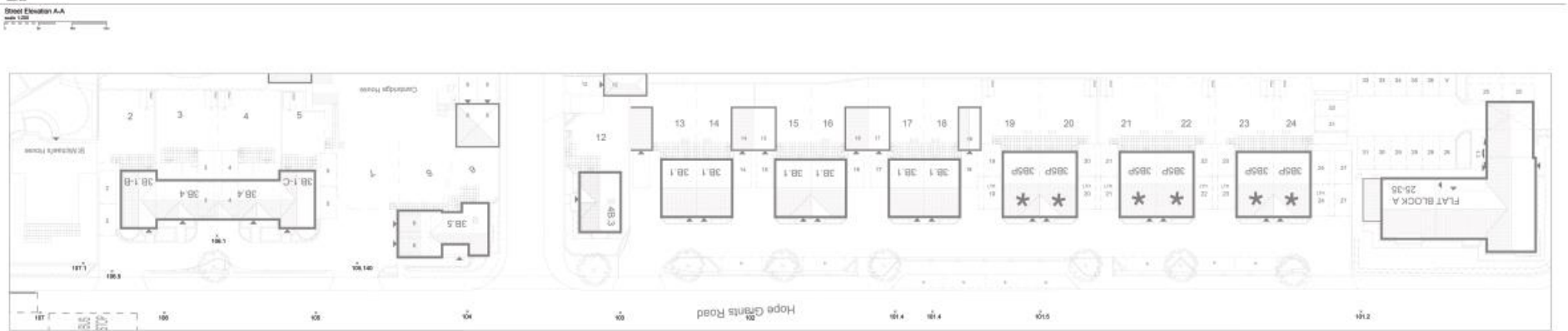




NOTES

This drawing is the copyright of RUSHMOOR BOROUGH COUNCIL. All rights reserved. It is to be used only for the purposes for which it was prepared. It is not to be used for any other purpose without the written consent of RUSHMOOR BOROUGH COUNCIL. The Council does not accept any liability for any loss or damage, whether direct or indirect, arising from the use of this drawing. It is the user's responsibility to ensure that the drawing is used in accordance with the relevant planning and building regulations. Please consult the Planning and Building Regulations for further information.

DATE: 15/06/2023
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]



PLANNING

thrive.
architects

1, Stirling Way, The Grange, Rushmoor, Reading, RG2 9JH
 0118 946 2000 | info@thrivearchitects.co.uk | www.thrivearchitects.co.uk

PROJECT
 Wellesley
 McGrigor Zone, Altonshot
 For: Granger PLC

DRAWING
 Street Elevations

SCALE
 1:200 @ AD June 16 SC

DATE
 08/06/2023

REF
 GRAN/15111169 SE.02

APP
 A

DATE
 15/06/2023

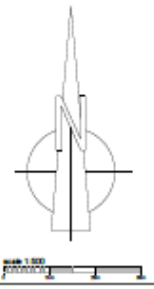
46.81 x 33.11 in





NOTES
 This drawing is the property of Thrive Ltd. ©. All rights reserved.
 Drawing No. 150007150. DO NOT scale from this drawing.
 Contractors, Sub-Contractors and Suppliers are to check all relevant dimensions and levels of the site and building before commencing any site drainage or building work. Any discrepancies should be reported to the architect.
 Where applicable this drawing is to be read in conjunction with the Contractor's drawings.

REV	DESCRIPTION	DATE	BY
1	Issue for Planning	01/09/17	MK



NO.	DESCRIPTION	DATE	BY
1	Issue for Planning	01/09/17	MK
2	Issue for Planning	01/09/17	MK
3	Issue for Planning	01/09/17	MK
4	Issue for Planning	01/09/17	MK
5	Issue for Planning	01/09/17	MK
6	Issue for Planning	01/09/17	MK
7	Issue for Planning	01/09/17	MK
8	Issue for Planning	01/09/17	MK
9	Issue for Planning	01/09/17	MK
10	Issue for Planning	01/09/17	MK
11	Issue for Planning	01/09/17	MK
12	Issue for Planning	01/09/17	MK
13	Issue for Planning	01/09/17	MK
14	Issue for Planning	01/09/17	MK
15	Issue for Planning	01/09/17	MK
16	Issue for Planning	01/09/17	MK
17	Issue for Planning	01/09/17	MK
18	Issue for Planning	01/09/17	MK
19	Issue for Planning	01/09/17	MK
20	Issue for Planning	01/09/17	MK
21	Issue for Planning	01/09/17	MK
22	Issue for Planning	01/09/17	MK
23	Issue for Planning	01/09/17	MK
24	Issue for Planning	01/09/17	MK
25	Issue for Planning	01/09/17	MK
26	Issue for Planning	01/09/17	MK
27	Issue for Planning	01/09/17	MK
28	Issue for Planning	01/09/17	MK
29	Issue for Planning	01/09/17	MK
30	Issue for Planning	01/09/17	MK
31	Issue for Planning	01/09/17	MK
32	Issue for Planning	01/09/17	MK
33	Issue for Planning	01/09/17	MK
34	Issue for Planning	01/09/17	MK
35	Issue for Planning	01/09/17	MK
36	Issue for Planning	01/09/17	MK
37	Issue for Planning	01/09/17	MK
38	Issue for Planning	01/09/17	MK
39	Issue for Planning	01/09/17	MK
40	Issue for Planning	01/09/17	MK
41	Issue for Planning	01/09/17	MK
42	Issue for Planning	01/09/17	MK
43	Issue for Planning	01/09/17	MK
44	Issue for Planning	01/09/17	MK
45	Issue for Planning	01/09/17	MK
46	Issue for Planning	01/09/17	MK
47	Issue for Planning	01/09/17	MK
48	Issue for Planning	01/09/17	MK
49	Issue for Planning	01/09/17	MK
50	Issue for Planning	01/09/17	MK
51	Issue for Planning	01/09/17	MK
52	Issue for Planning	01/09/17	MK
53	Issue for Planning	01/09/17	MK
54	Issue for Planning	01/09/17	MK
55	Issue for Planning	01/09/17	MK
56	Issue for Planning	01/09/17	MK
57	Issue for Planning	01/09/17	MK
58	Issue for Planning	01/09/17	MK
59	Issue for Planning	01/09/17	MK
60	Issue for Planning	01/09/17	MK
61	Issue for Planning	01/09/17	MK
62	Issue for Planning	01/09/17	MK
63	Issue for Planning	01/09/17	MK
64	Issue for Planning	01/09/17	MK
65	Issue for Planning	01/09/17	MK
66	Issue for Planning	01/09/17	MK
67	Issue for Planning	01/09/17	MK
68	Issue for Planning	01/09/17	MK
69	Issue for Planning	01/09/17	MK
70	Issue for Planning	01/09/17	MK
71	Issue for Planning	01/09/17	MK
72	Issue for Planning	01/09/17	MK
73	Issue for Planning	01/09/17	MK
74	Issue for Planning	01/09/17	MK
75	Issue for Planning	01/09/17	MK
76	Issue for Planning	01/09/17	MK
77	Issue for Planning	01/09/17	MK
78	Issue for Planning	01/09/17	MK
79	Issue for Planning	01/09/17	MK
80	Issue for Planning	01/09/17	MK
81	Issue for Planning	01/09/17	MK
82	Issue for Planning	01/09/17	MK
83	Issue for Planning	01/09/17	MK
84	Issue for Planning	01/09/17	MK
85	Issue for Planning	01/09/17	MK
86	Issue for Planning	01/09/17	MK
87	Issue for Planning	01/09/17	MK
88	Issue for Planning	01/09/17	MK
89	Issue for Planning	01/09/17	MK
90	Issue for Planning	01/09/17	MK
91	Issue for Planning	01/09/17	MK
92	Issue for Planning	01/09/17	MK
93	Issue for Planning	01/09/17	MK
94	Issue for Planning	01/09/17	MK
95	Issue for Planning	01/09/17	MK
96	Issue for Planning	01/09/17	MK
97	Issue for Planning	01/09/17	MK
98	Issue for Planning	01/09/17	MK
99	Issue for Planning	01/09/17	MK
100	Issue for Planning	01/09/17	MK

KEY:

1/17H	Allocated Life Time Homes Compliant
V	Visitor Space
DIS	Partial Wheelchair Compliant
1/17H	Visitor Life Time Homes Compliant

PLANNING



Thrive
 architects
 Ramsey Office

Building 301, The Grange, Ramsey Road, Wellesley, MK18 2AF
 t: 01754 807214 f: 01754 807215 www.thrivearchitects.co.uk

PROJECT
 Wellesley
 McGrigor Zone, Aldershot
 For: Granger PLC

DRAWING
 Parking Plan

SCALE	DATE	AUTHOR/CHKD
1:500 @ A1	01/09/17	MK
DWG NO.	DRAWING NO.	REV
GRAIN151116	PP.01	A
CLIENT NAME		

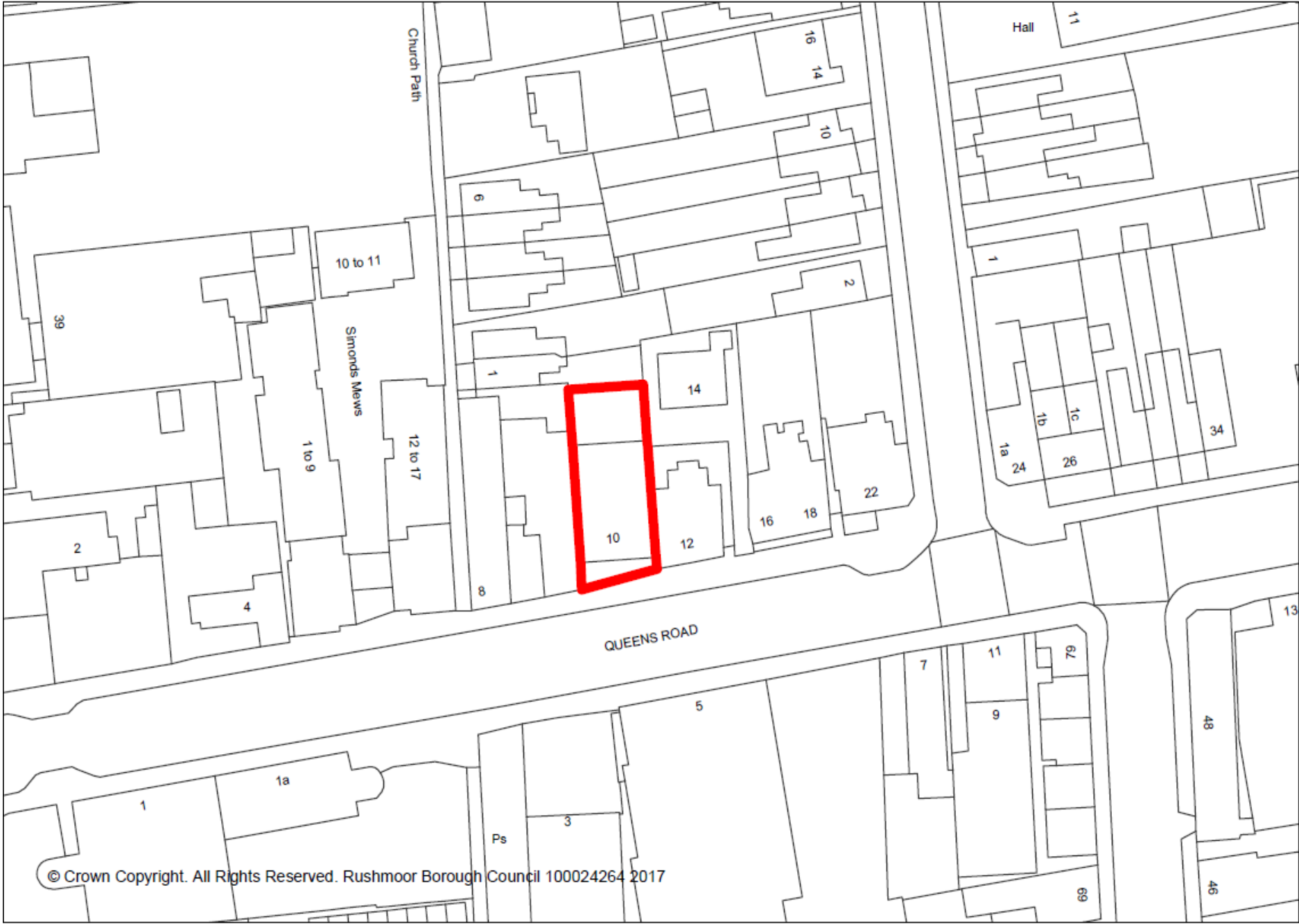


APPROVED RESERVED
MATTERS APPLICATION
(MAIRIA ZONE)

Development Management Committee

Item 10 : 17/00744/REVPP

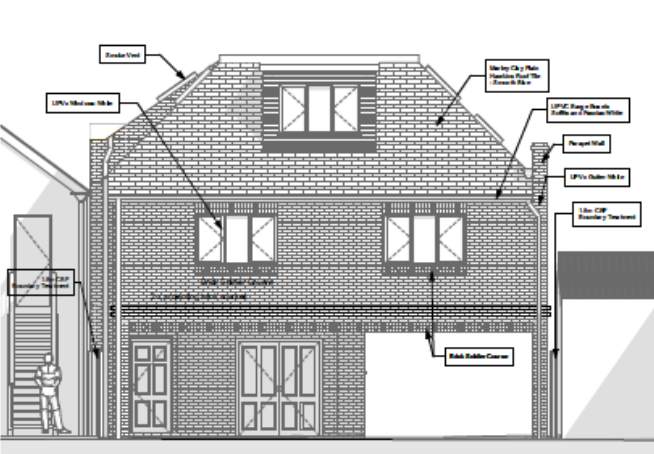
10 Queens Road
Farnborough



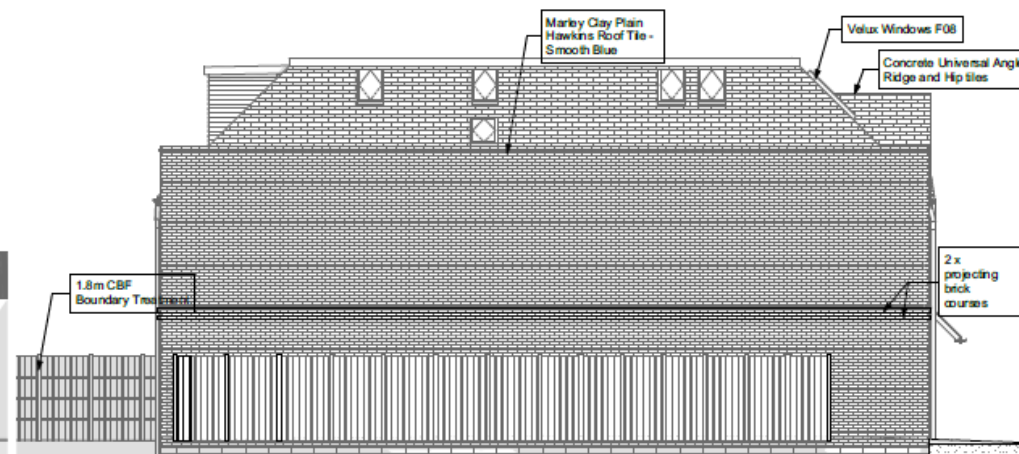
© Crown Copyright. All Rights Reserved. Rushmoor Borough Council 100024264 2017



© Crown Copyright. All Rights Reserved. Rushmoor Borough Council 100024264 2017



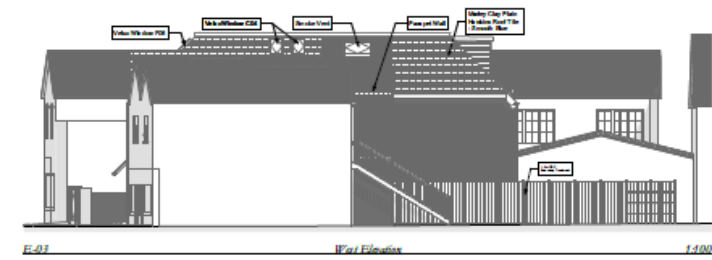
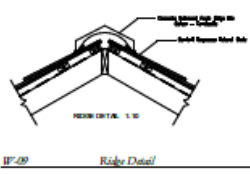
E-02 Rear Elevation 1:50 E-04



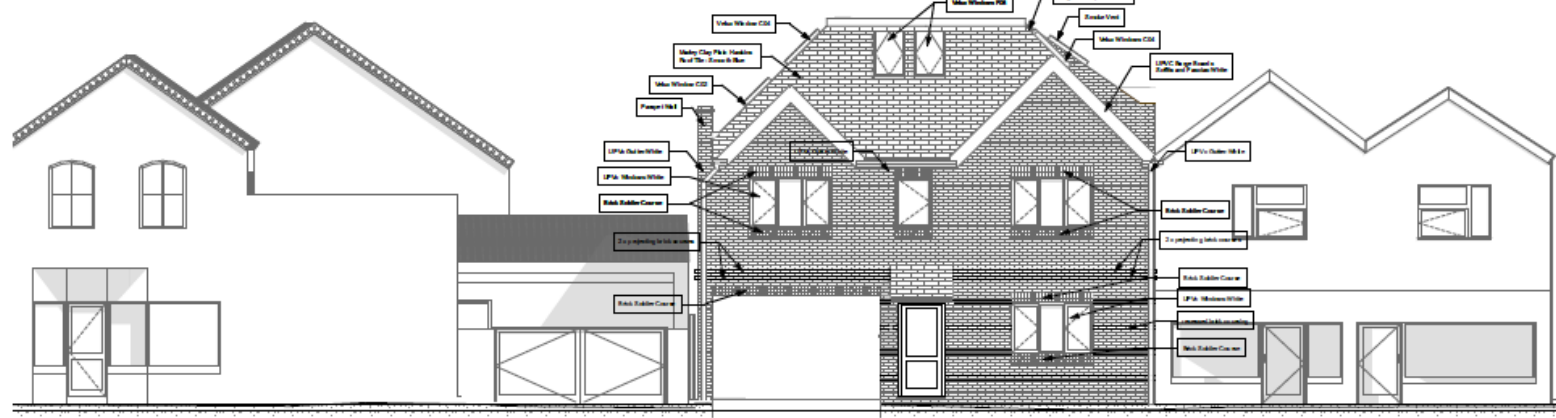
E-03 East Elevation 1:50

© This drawing remains the property of The Keen Partnership and shall not be copied without their permission in writing.
 All dimensions are to be checked on site and any discrepancies to be reported before work commences.

Scale: 1:50
 0 0.5 1 1.5 2



E-01 West Elevation 1:100



E-04 Proposed Street Scene 1:50

1. Project Manager	27. 01/01/2017
2. Design Architect	28. 01/01/2017
3. CBF Number 1 (Urban Equipment)	29. 01/01/2017
4. CBF Number 2 (Urban Equipment)	30. 01/01/2017
5. CBF Number 3 (Urban Equipment)	31. 01/01/2017
6. CBF Number 4 (Urban Equipment)	32. 01/01/2017
7. CBF Number 5 (Urban Equipment)	33. 01/01/2017
8. CBF Number 6 (Urban Equipment)	34. 01/01/2017
9. CBF Number 7 (Urban Equipment)	35. 01/01/2017
10. CBF Number 8 (Urban Equipment)	36. 01/01/2017
11. CBF Number 9 (Urban Equipment)	37. 01/01/2017
12. CBF Number 10 (Urban Equipment)	38. 01/01/2017
13. CBF Number 11 (Urban Equipment)	39. 01/01/2017
14. CBF Number 12 (Urban Equipment)	40. 01/01/2017
15. CBF Number 13 (Urban Equipment)	41. 01/01/2017
16. CBF Number 14 (Urban Equipment)	42. 01/01/2017
17. CBF Number 15 (Urban Equipment)	43. 01/01/2017
18. CBF Number 16 (Urban Equipment)	44. 01/01/2017
19. CBF Number 17 (Urban Equipment)	45. 01/01/2017
20. CBF Number 18 (Urban Equipment)	46. 01/01/2017
21. CBF Number 19 (Urban Equipment)	47. 01/01/2017
22. CBF Number 20 (Urban Equipment)	48. 01/01/2017
23. CBF Number 21 (Urban Equipment)	49. 01/01/2017
24. CBF Number 22 (Urban Equipment)	50. 01/01/2017
25. CBF Number 23 (Urban Equipment)	51. 01/01/2017
26. CBF Number 24 (Urban Equipment)	52. 01/01/2017
27. CBF Number 25 (Urban Equipment)	53. 01/01/2017
28. CBF Number 26 (Urban Equipment)	54. 01/01/2017
29. CBF Number 27 (Urban Equipment)	55. 01/01/2017
30. CBF Number 28 (Urban Equipment)	56. 01/01/2017
31. CBF Number 29 (Urban Equipment)	57. 01/01/2017
32. CBF Number 30 (Urban Equipment)	58. 01/01/2017
33. CBF Number 31 (Urban Equipment)	59. 01/01/2017
34. CBF Number 32 (Urban Equipment)	60. 01/01/2017
35. CBF Number 33 (Urban Equipment)	61. 01/01/2017
36. CBF Number 34 (Urban Equipment)	62. 01/01/2017
37. CBF Number 35 (Urban Equipment)	63. 01/01/2017
38. CBF Number 36 (Urban Equipment)	64. 01/01/2017
39. CBF Number 37 (Urban Equipment)	65. 01/01/2017
40. CBF Number 38 (Urban Equipment)	66. 01/01/2017
41. CBF Number 39 (Urban Equipment)	67. 01/01/2017
42. CBF Number 40 (Urban Equipment)	68. 01/01/2017
43. CBF Number 41 (Urban Equipment)	69. 01/01/2017
44. CBF Number 42 (Urban Equipment)	70. 01/01/2017
45. CBF Number 43 (Urban Equipment)	71. 01/01/2017
46. CBF Number 44 (Urban Equipment)	72. 01/01/2017
47. CBF Number 45 (Urban Equipment)	73. 01/01/2017
48. CBF Number 46 (Urban Equipment)	74. 01/01/2017
49. CBF Number 47 (Urban Equipment)	75. 01/01/2017
50. CBF Number 48 (Urban Equipment)	76. 01/01/2017
51. CBF Number 49 (Urban Equipment)	77. 01/01/2017
52. CBF Number 50 (Urban Equipment)	78. 01/01/2017
53. CBF Number 51 (Urban Equipment)	79. 01/01/2017
54. CBF Number 52 (Urban Equipment)	80. 01/01/2017
55. CBF Number 53 (Urban Equipment)	81. 01/01/2017
56. CBF Number 54 (Urban Equipment)	82. 01/01/2017
57. CBF Number 55 (Urban Equipment)	83. 01/01/2017
58. CBF Number 56 (Urban Equipment)	84. 01/01/2017
59. CBF Number 57 (Urban Equipment)	85. 01/01/2017
60. CBF Number 58 (Urban Equipment)	86. 01/01/2017
61. CBF Number 59 (Urban Equipment)	87. 01/01/2017
62. CBF Number 60 (Urban Equipment)	88. 01/01/2017
63. CBF Number 61 (Urban Equipment)	89. 01/01/2017
64. CBF Number 62 (Urban Equipment)	90. 01/01/2017
65. CBF Number 63 (Urban Equipment)	91. 01/01/2017
66. CBF Number 64 (Urban Equipment)	92. 01/01/2017
67. CBF Number 65 (Urban Equipment)	93. 01/01/2017
68. CBF Number 66 (Urban Equipment)	94. 01/01/2017
69. CBF Number 67 (Urban Equipment)	95. 01/01/2017
70. CBF Number 68 (Urban Equipment)	96. 01/01/2017
71. CBF Number 69 (Urban Equipment)	97. 01/01/2017
72. CBF Number 70 (Urban Equipment)	98. 01/01/2017
73. CBF Number 71 (Urban Equipment)	99. 01/01/2017
74. CBF Number 72 (Urban Equipment)	100. 01/01/2017

THE KEEN PARTNERSHIP

The Courtyard
 Edinburgh Road
 Reading RG30 2UA
 Tel: 0118 530 1122
 Fax: 0118 530 1166
 Email: info@keenpartnership.co.uk
 www.keenpartnership.co.uk

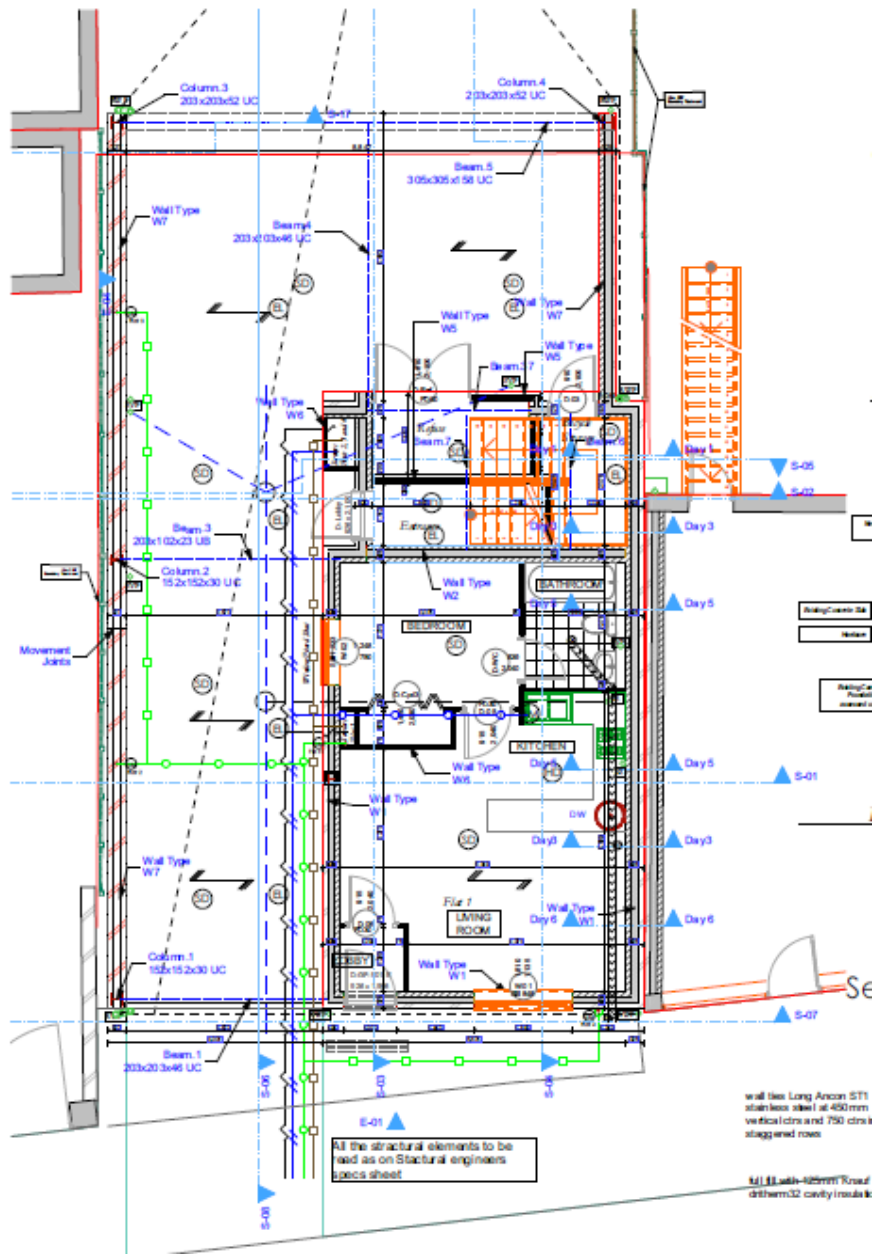
Client:
 Mr & Mrs A K Shari

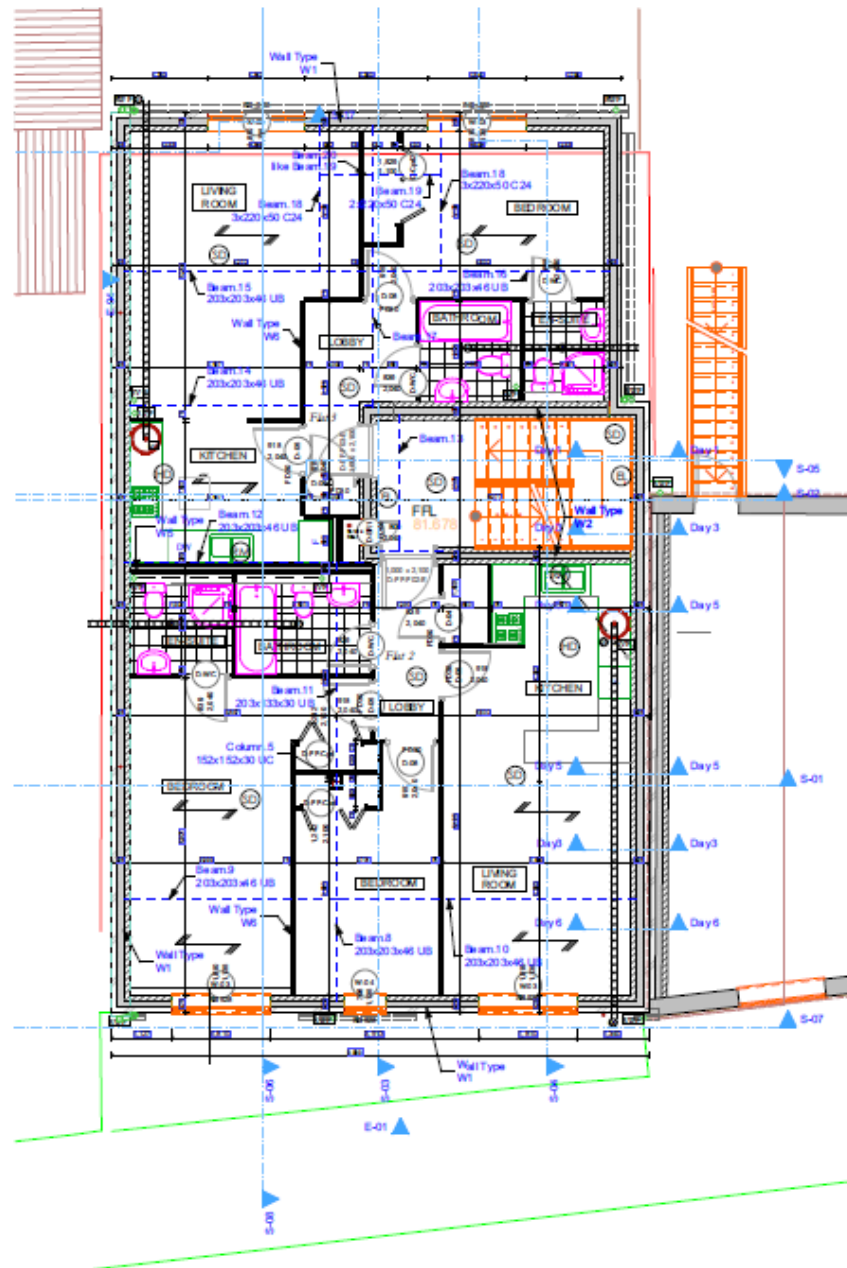
Site:
 10 Queen Road
 Farnborough GU14
 GDN Hampshire

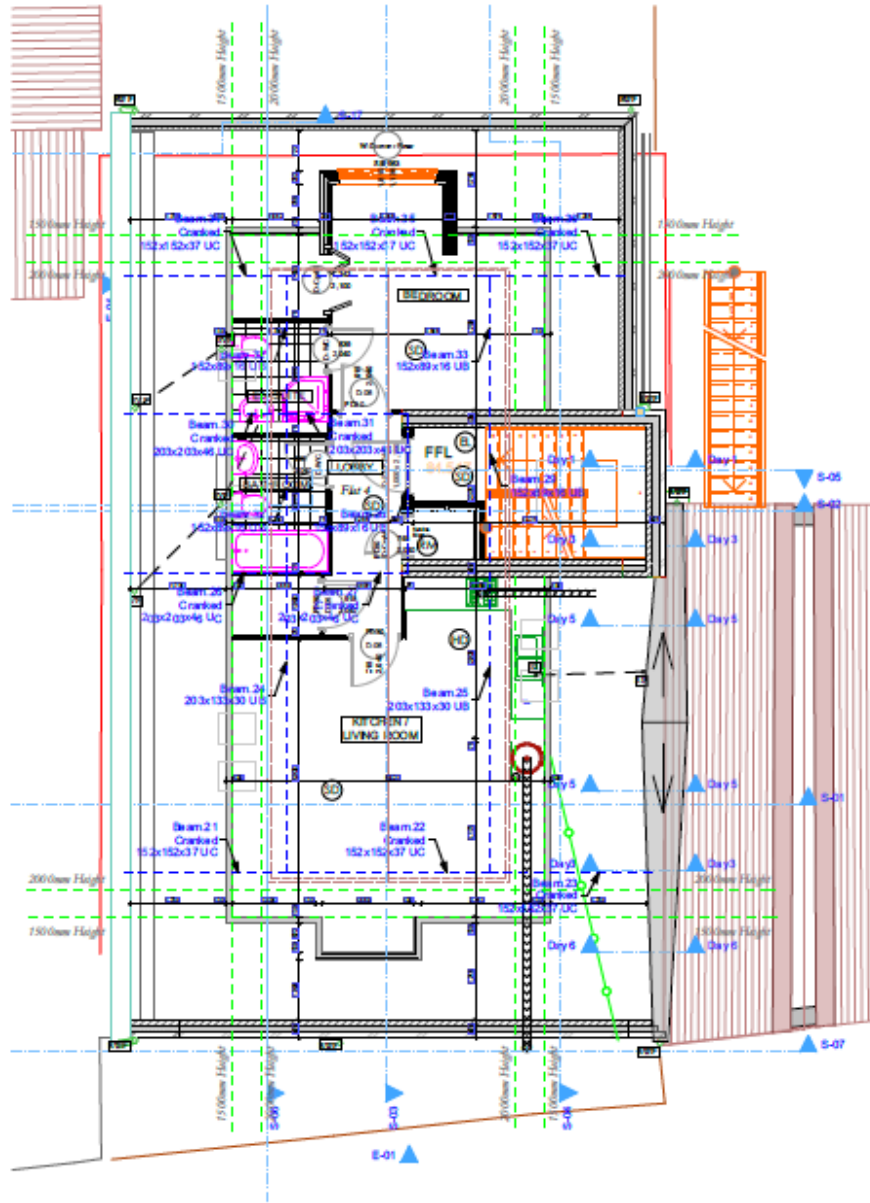
Drawing Title:
 Proposal Elevations

Project:
 S73 Minor Amendment

Date Drawn: 04/09/2017	Drawn By: C.P.	Scale: 1:50, 1:100@A1
Job No: 8688-16	Proj No: 88-09	Rev: D

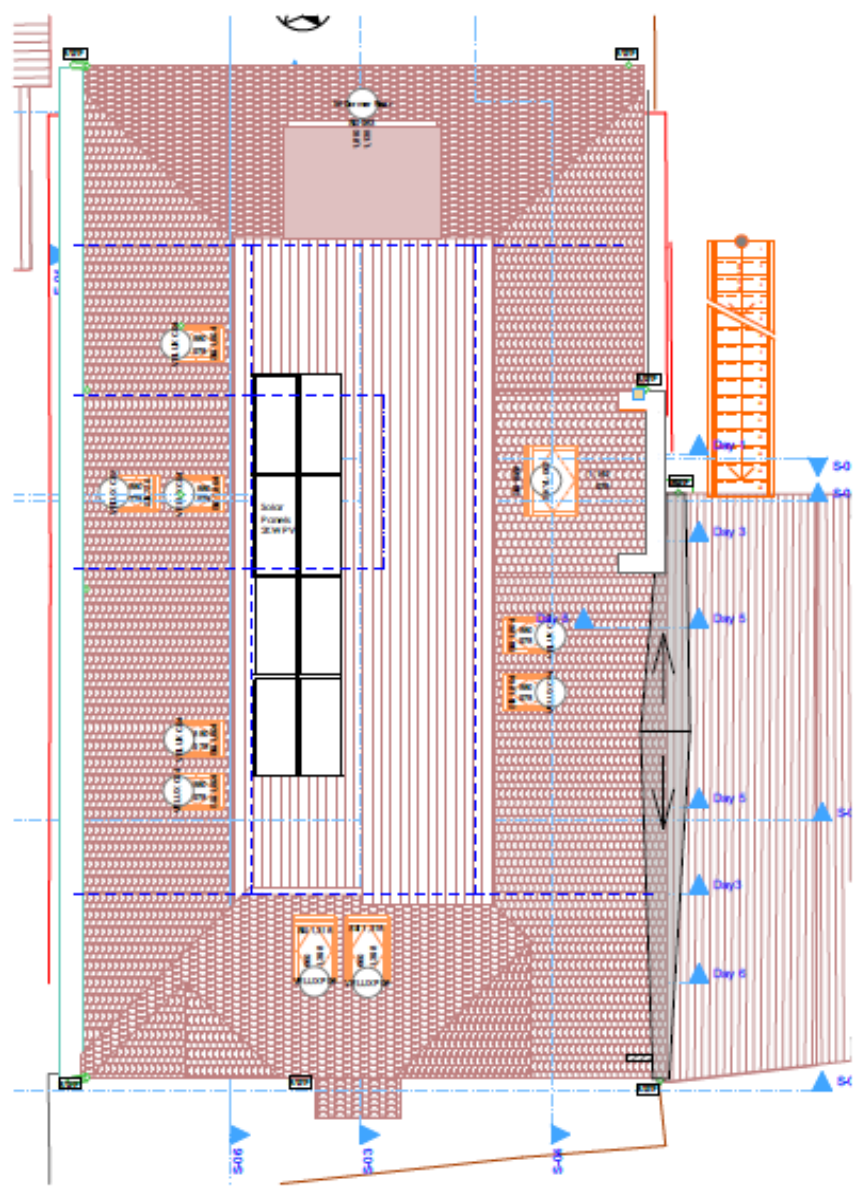






D-7

D



3.

RF-Roof

1:50

© This drawing remains the property of The Keen Partnership and shall not be copied without their permission in writing.
 All drawings are to be checked in color and any drawings are subject to any amendments before construction.

10/10/17

THE KEEN PARTNERSHIP
 The Courtyard
 Edinborough Road
 Reading RG30 2HA
 Tel: 0118 510 510
 Fax: 0118 510 510
 Email: enquiries@keenpartnership.co.uk
www.keenpartnership.co.uk

Client:
 Mr & Mrs A K Shari

Plot/Title:
 10 Queens Road
 Farnborough GU14
 6DN Hampshire

Drawing Title:
 3D Views

Project:
 S73 Minor Amendment

Date Drawn: 04/09/2017	Drawn By: C.P.	Scale: @A1
Job No: 8688-16	Eng No: 88-16	Rev:



3D Pavement View



3D No5 Queens Rd View



3D Rear View



3D Street View



Rushmoor Scaffolding
MC 07 145 293812
T: 01203 27135

GOLDEN KEBAB
BURGERS KEBABS

GB BUILDERS LTD
01203 27135 / 01203 27136





The co-operative
food

G BATHROOMS

GOLDEN KEBAB HOUSE
BURGERS KEBABS WRAPS
TEL: 01845 37 20 97

CO-OP
SUPERMARKET

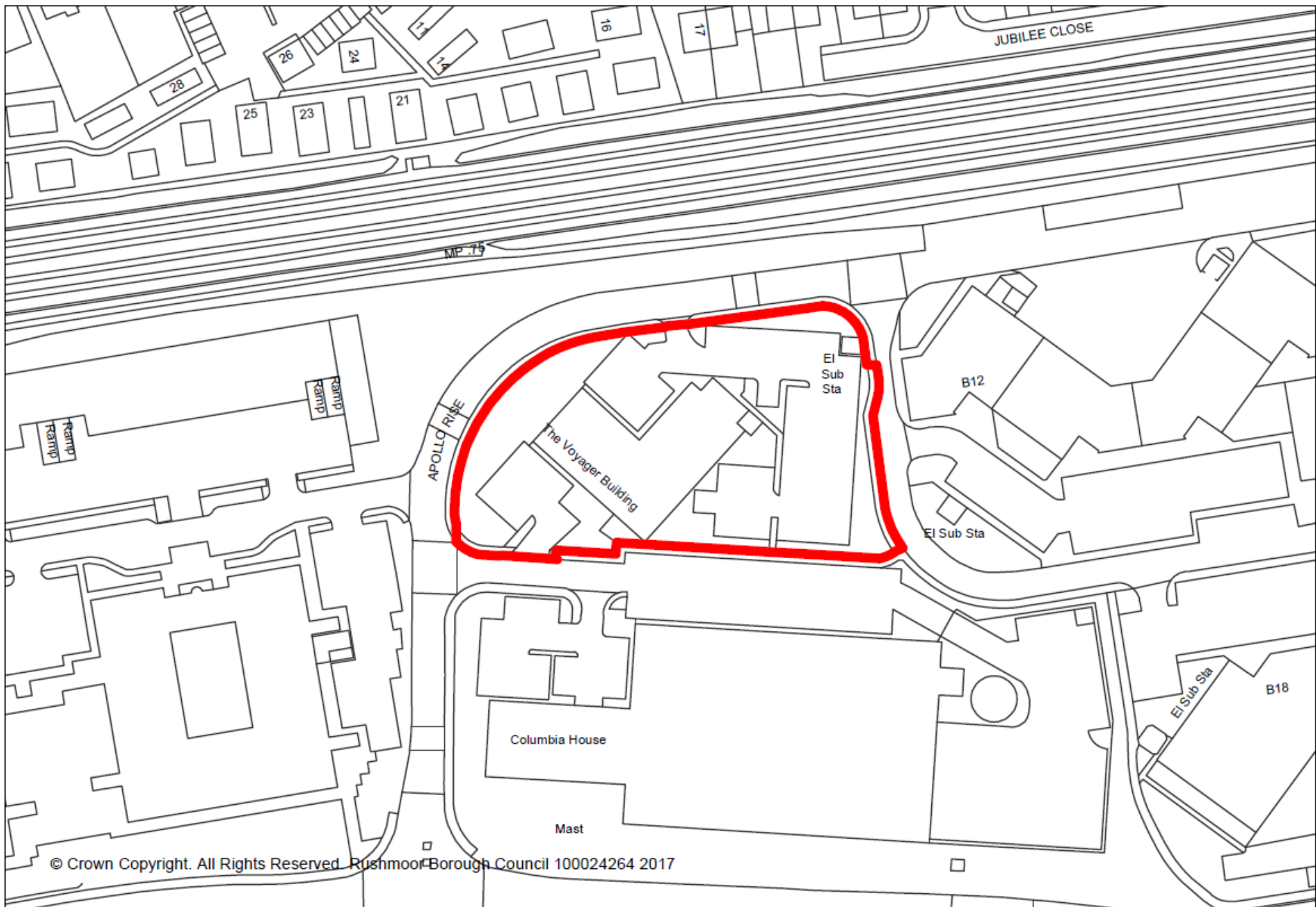
Rushmoor
Council

BUILDERS UP

Development Management Committee

Item 11 : 17/00787/COUPP

Voyager House, 2 Apollo Rise,
Farnborough



© Crown Copyright. All Rights Reserved. Rushmoor Borough Council 100024264 2017



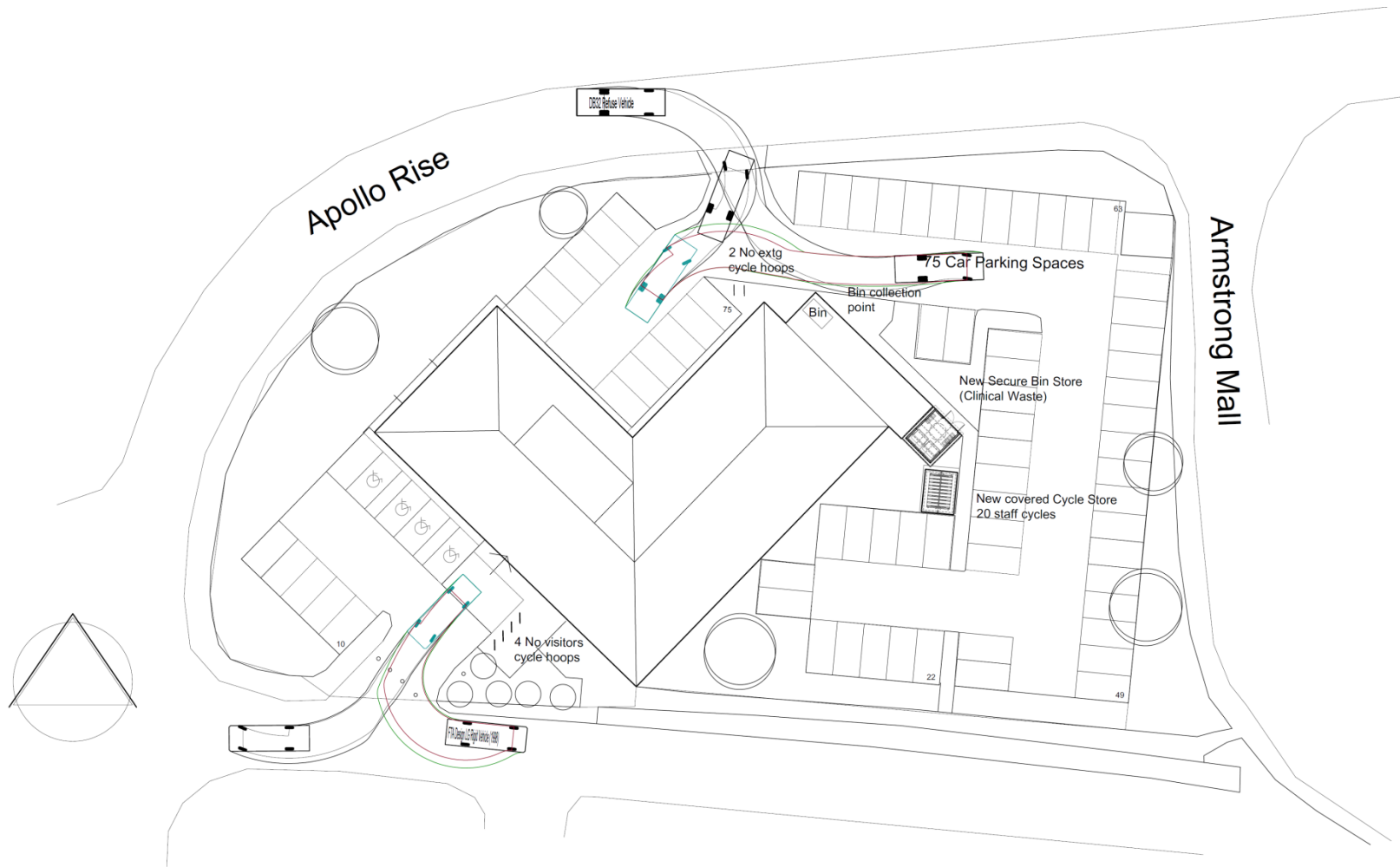
© Crown Copyright. All Rights Reserved. Rushmoor Borough Council 100024264 2017

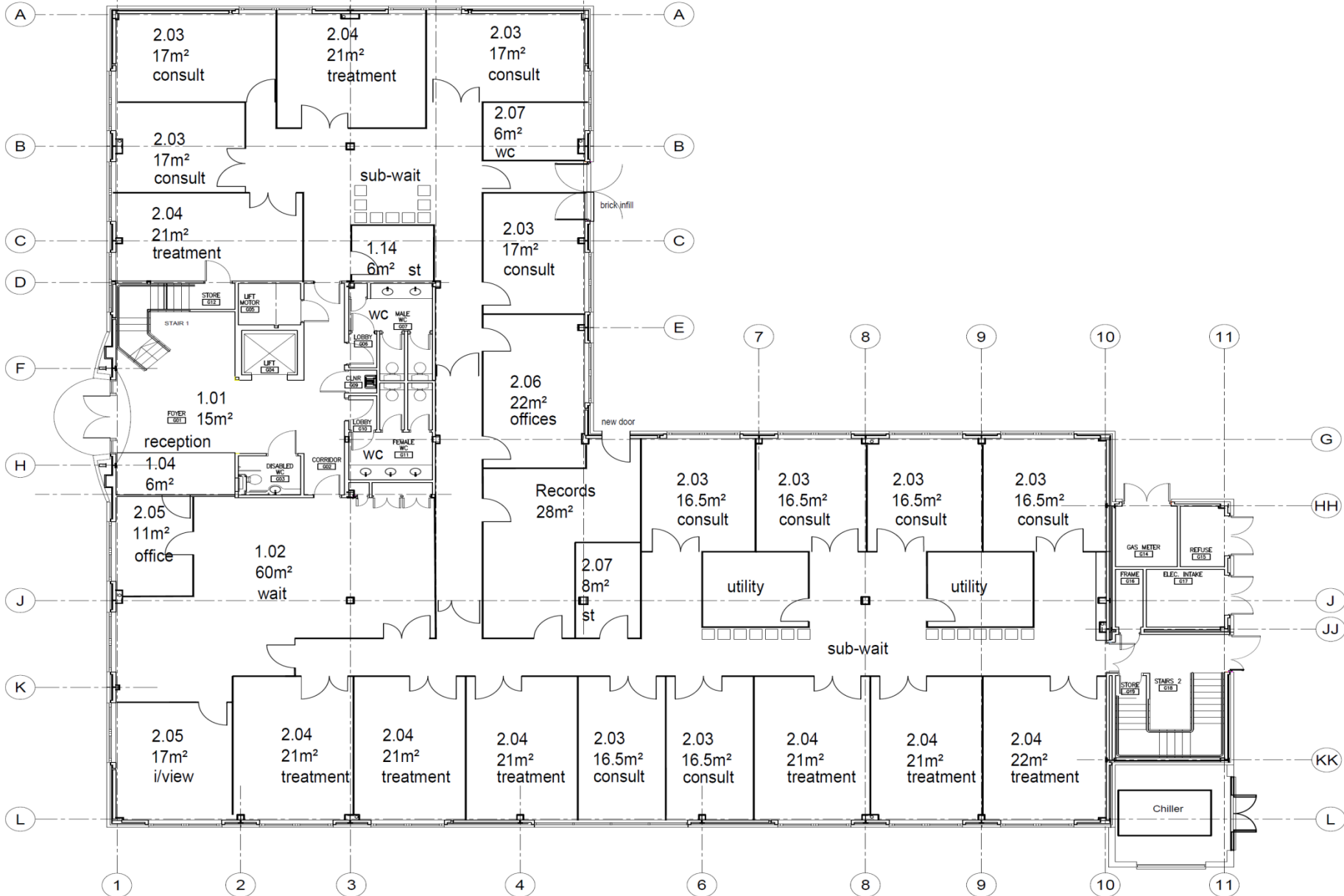




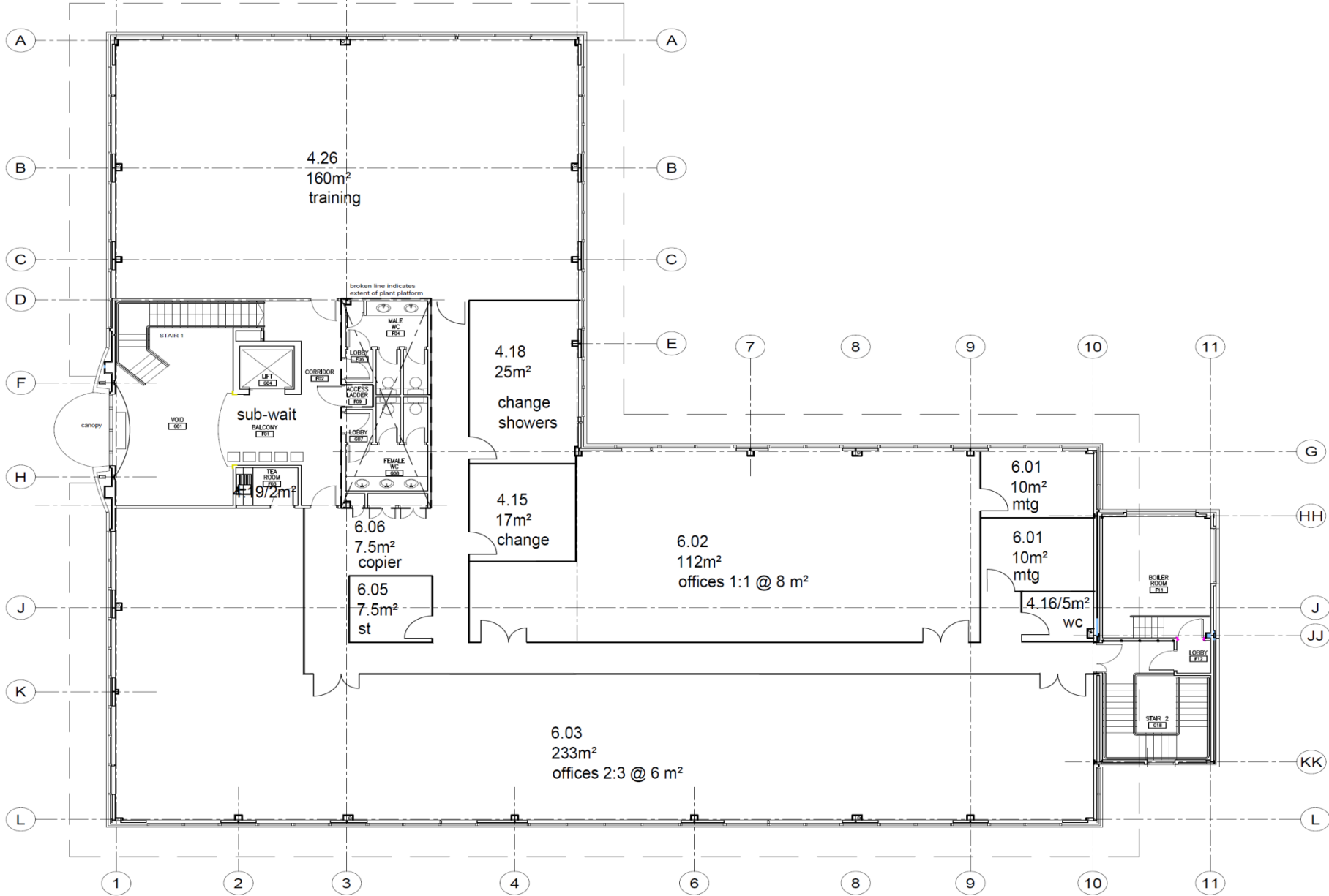




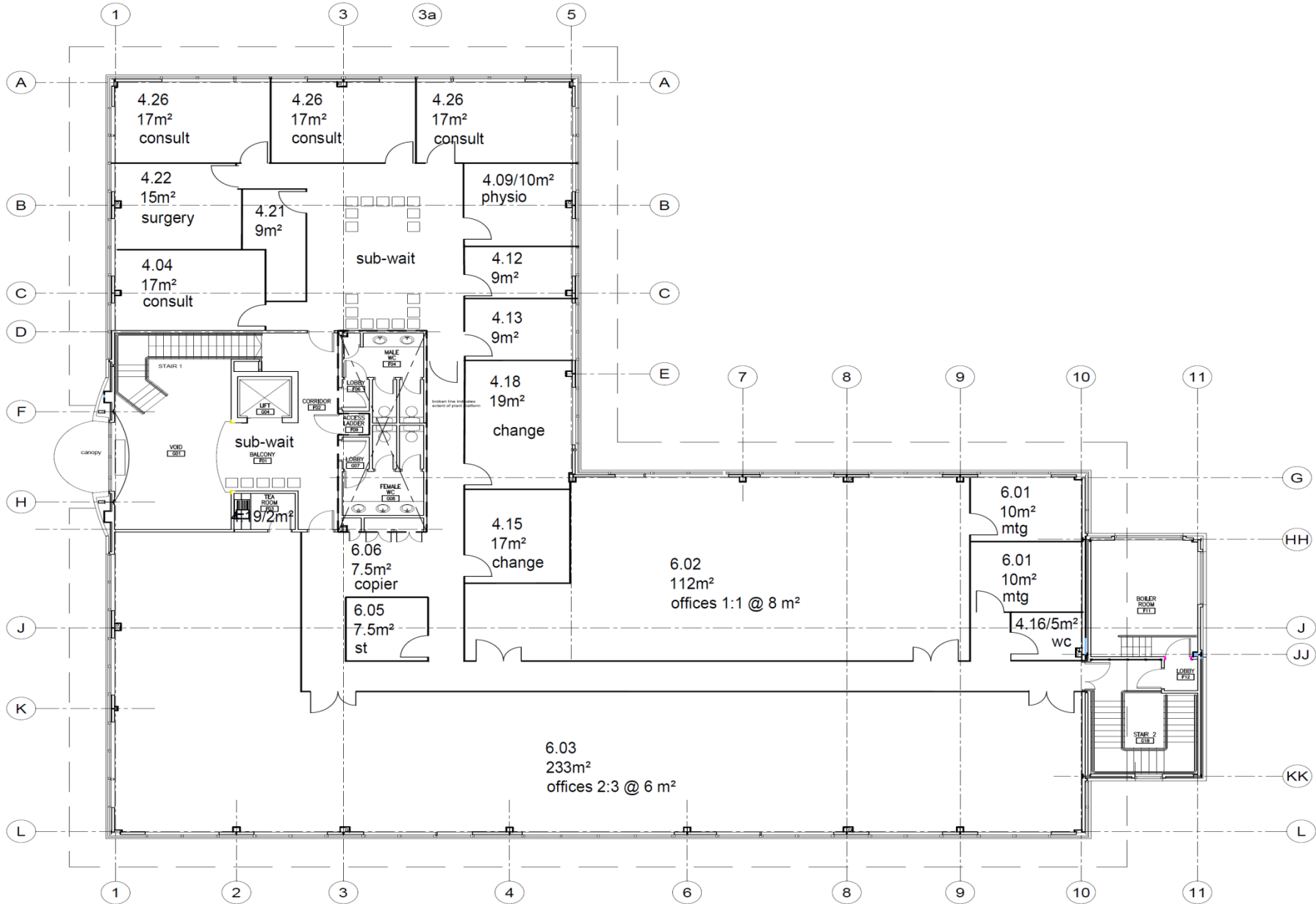




GROUND FLOOR PLAN - PROPOSED CLINICAL FOOTPRINT
SCALE 1:100



FIRST FLOOR PLAN - PROPOSED DAY ONE - TRAINING FOOTPRINT
SCALE 1:100



**FIRST FLOOR PLAN - PROPOSED
CLINICAL FOOTPRINT**
SCALE 1:100

Development Management Committee

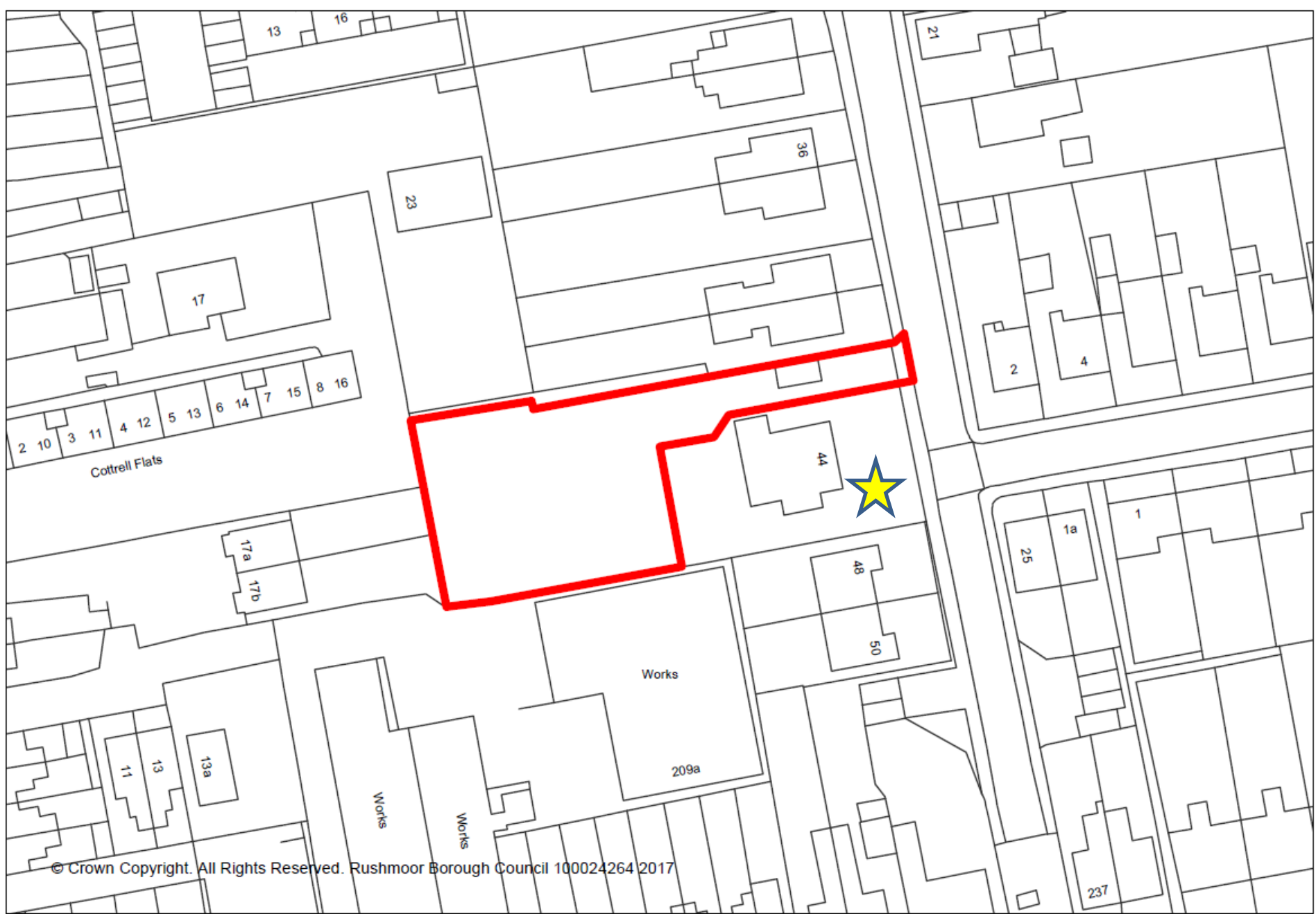
8th November 2017

Development Management Committee

**Enforcement and possible
unauthorised development:**

Development Management Committee

**Enforcement and possible
unauthorised development:
Item 2.1 : 44 Gravel Road,
Farnborough**



© Crown Copyright. All Rights Reserved. Rushmoor Borough Council 100024264 2017

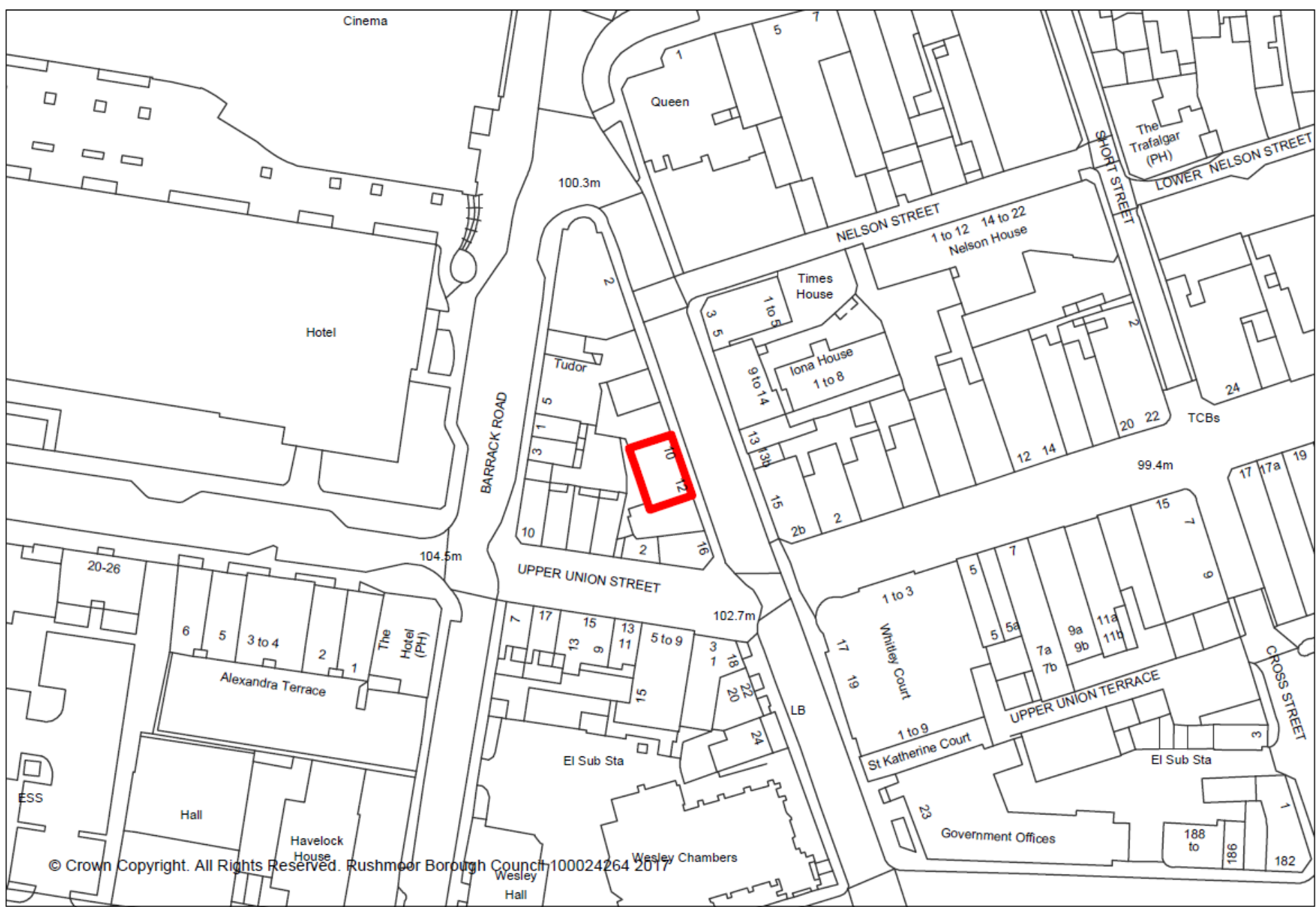






Development Management Committee

**Enforcement and possible
unauthorised development:
Item 2.3 : 10 Grosvenor Road,
Aldershot**







where existing render above the shopfronts is required to be repaired and/or redecorated colours are to be from the colour palette as shown on drawing A15553/03/20

where possible existing surface mounted surfaces are to be indicated to integrated tray for services runs within proposed new cornice with timber capping over - see detail below.

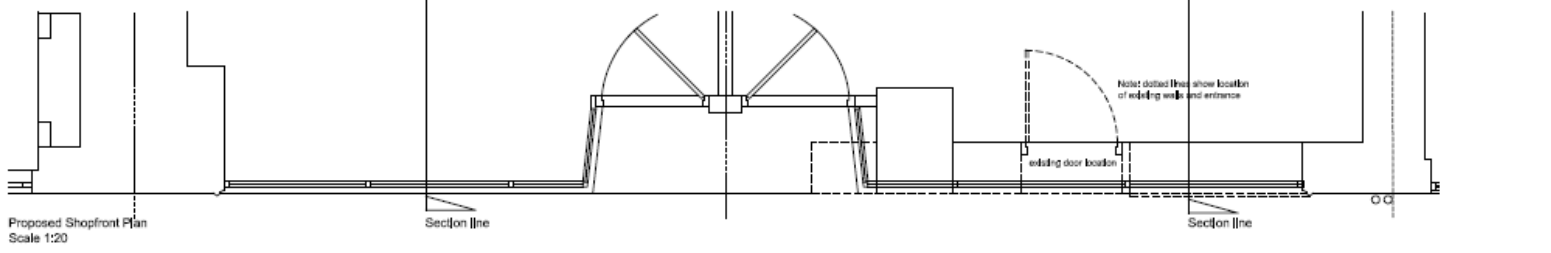
for new shopfront colour palette refer to drawing A15553/03/20



Existing Elevation Scale 1:50 No. 12 Grosvenor Road No. 10 Grosvenor Road Proposed Elevation Scale 1:50 No. 12 Grosvenor Road No. 10 Grosvenor Road



Proposed Section Scale 1:20 Proposed Shopfront Elevation Scale 1:20 No. 12 Grosvenor Road No. 10 Grosvenor Road Proposed Section Scale 1:20



Proposed Shopfront Plan Scale 1:20 Section line Section line

Development Management Committee

8th November 2017